

**ADDRESS**  
1177 FOOTHILLS BLVD.  
PRINCE GEORGE, B.C.

**LEGAL DESCRIPTION**  
LOT - 104 DISTRICT LOTS 2507 AND 2609 CARIBOO DISTRICT  
PLAN - 22809

**SITE AREA**  
TOTAL SITE AREA : 108,528 S.F. = 2.491 ACRES = 1.008ha

**ZONING RM6**

**PERMITTED DENSITY 140X1.008ha = 141**

**PROPOSED DENSITY = 125**

**DP NUMBER = -----**

**efg**

Edward F. Gooch  
Architect  
9834-105 Street  
Edmonton, AB T5K 1A6  
Office: (780) 423-3424



**SUITE COUNT**  
1 BEDROOM - A = 14 ( 664 S.F. )  
1 BEDROOM - A1 = 10 ( 664 S.F. )  
2 BEDROOM - B = 10 ( 769 S.F. )  
2 BED+DEN - B2 = 47 ( 915 S.F. )  
2 BEDROOM - B3 = 10 ( 742 S.F. )  
2 BED+DEN - C = 12 ( 1,140 S.F. )  
2 BED+DEN - C1 = 12 ( 1,140 S.F. )  
2 BEDROOM - D = 10 ( 1,133 S.F. )  
**TOTAL = 125**

**BUILDING AREA**  
MAIN = 22,574 S.F.  
TYPICAL 22,233X4 = 88,932 S.F.  
SIXTH = 21,709 S.F.  
**TOTAL = 133,215 S.F.**  
PARKADE = 29,039 S.F.

**F.A.R.**  
BUILDING AREA = 133,215 S.F. = 1.227  
SITE AREA = 108,528 S.F.

**SITE COVERAGE**  
BUILDING AREA MAIN = 22,574 S.F. = 20.80%  
SITE AREA = 108,528 S.F.

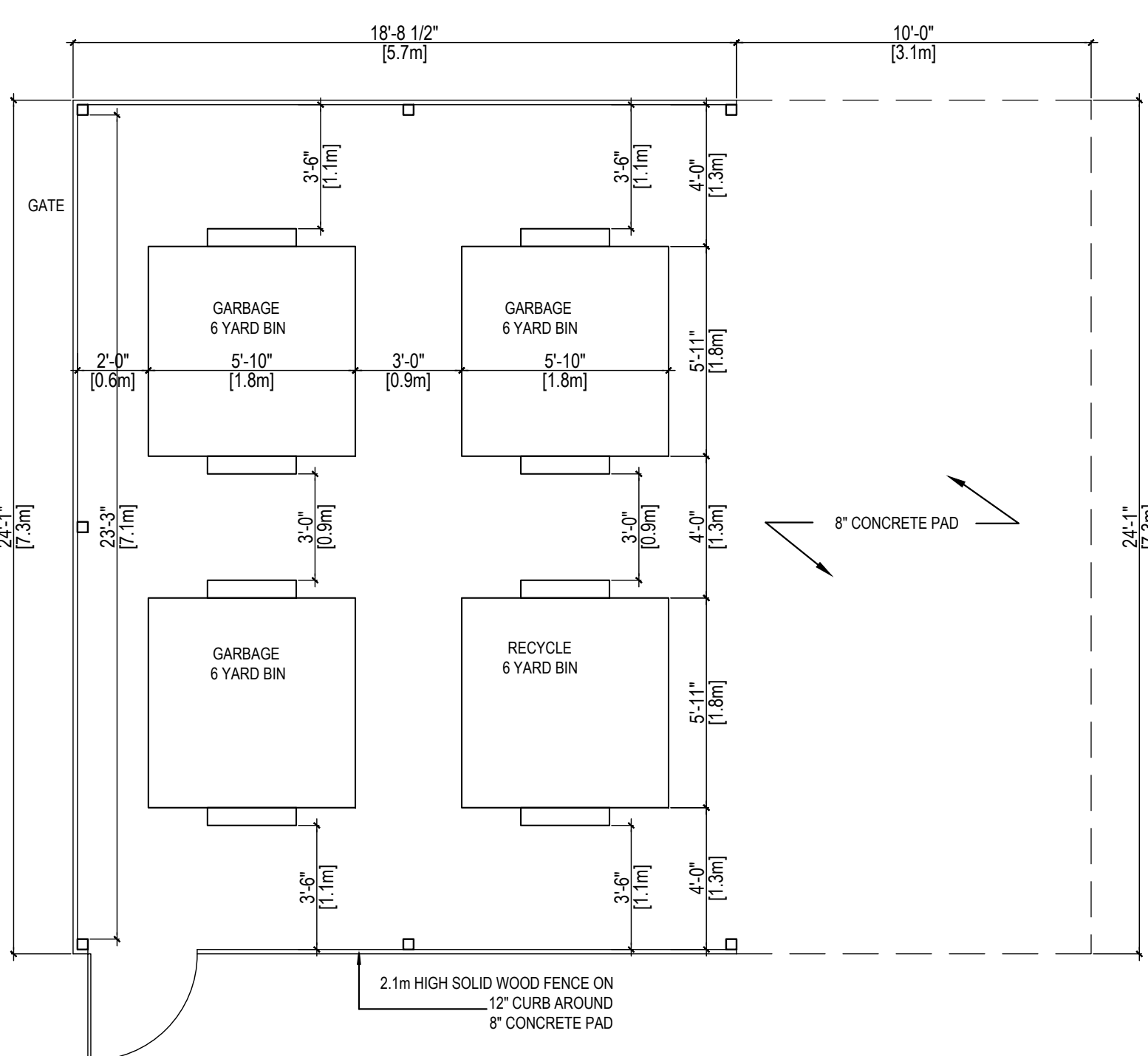
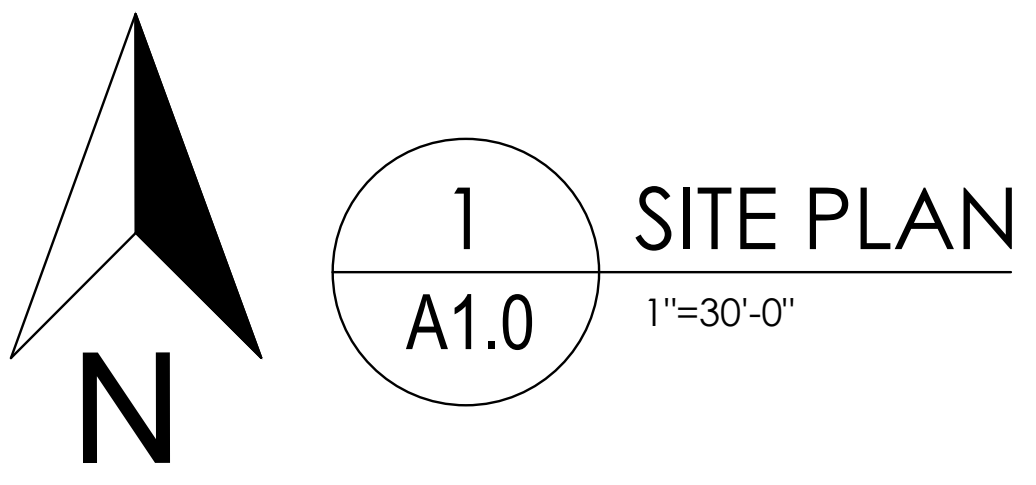
**PARKING**  
PARKING REQUIRED  
1 BEDROOM 24X1.0 = 24.00  
2 BEDROOM 101X1.5 = 151.50  
VISITORS 125/7 = 17.85  
**TOTAL = 193.35**

**PARKING PROVIDED**  
SURFACE STALL = 69  
U/GROUND STALL = 60  
**TOTAL = 129**  
( 08 VISITORS INCLUDED )

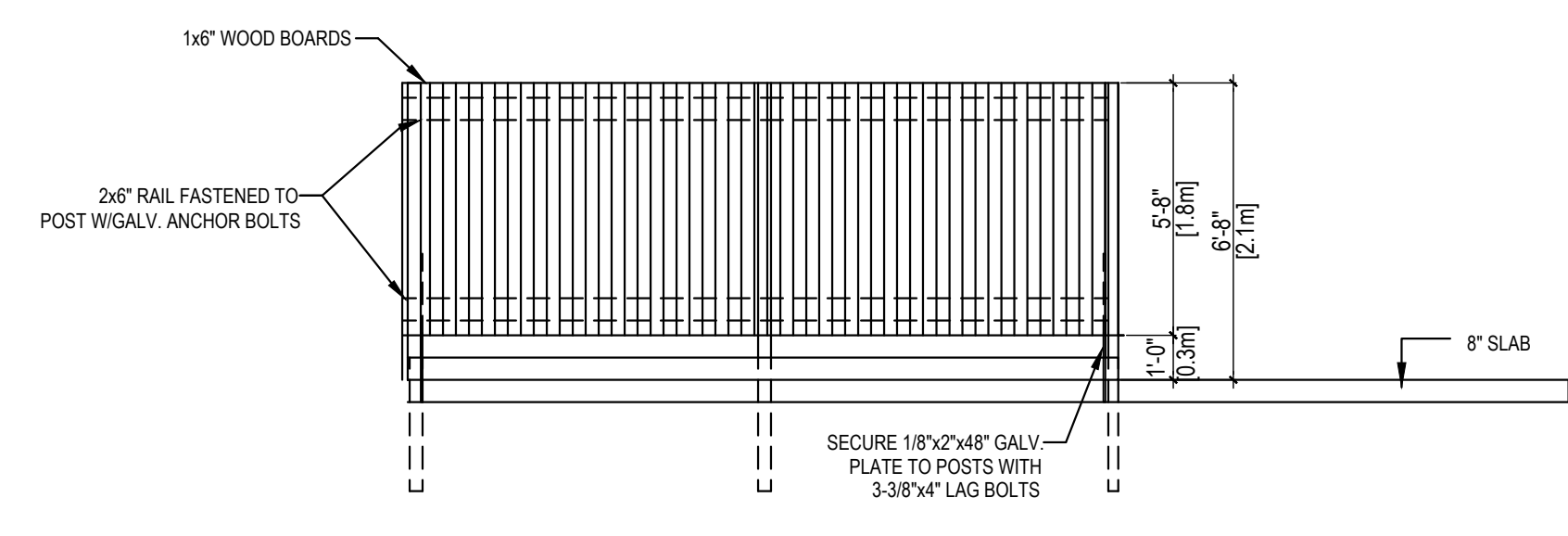
**BICYCLE PARKING REQUIRED**  
CLASS I = 194/5% = 10  
CLASS II = 05  
**BICYCLE PARKING PROVIDED**  
CLASS I = 10  
CLASS II = 06

- LEGEND**
- EXISTING GRADE(m)
  - NEW GRADE(m)
  - EXISTING FH
- HARDSURFACE AREAS**  
ALL ROADS AND PARKING AREAS ARE ASPHALT PAVING

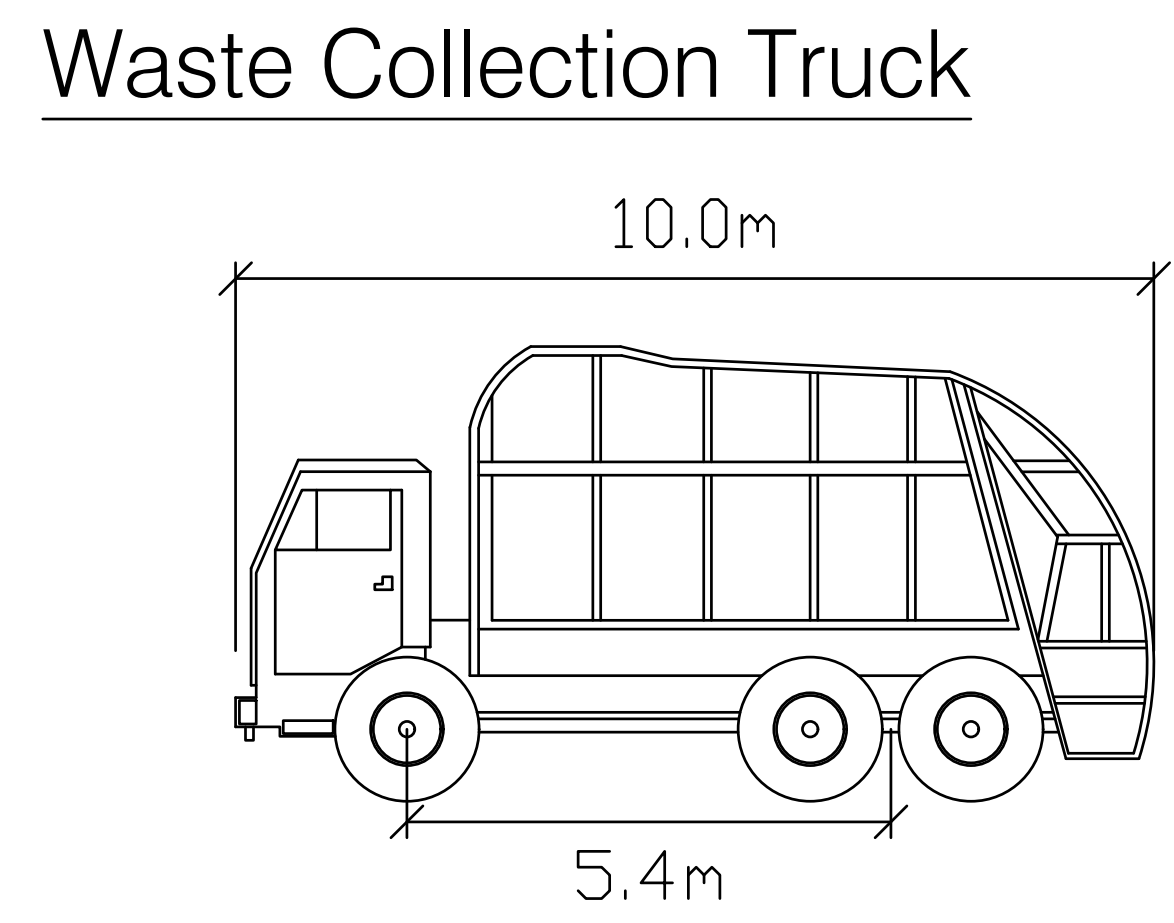
Exhibit "A"  
Application: Development Permit w/Variance  
Permit No. DP100807  
Date: May 31, 2023  
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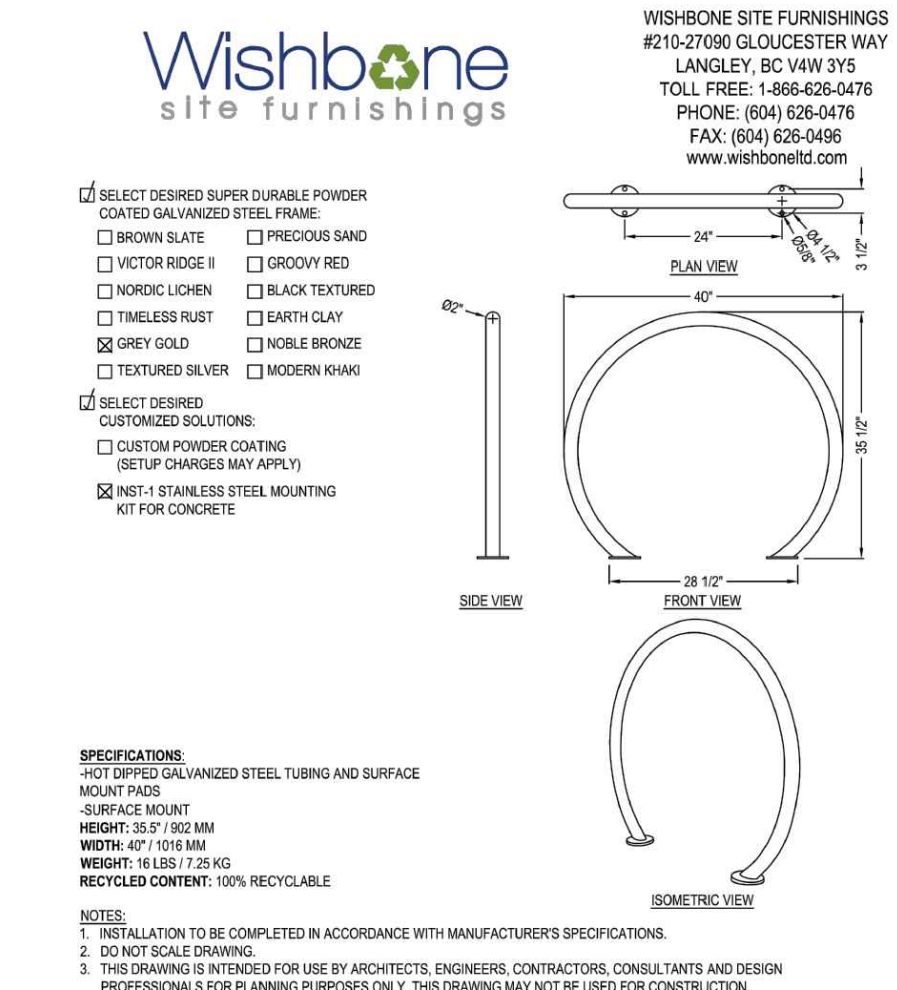
**2 GARBAGE BIN DETAILS**  
A1.0 N.T.S.



**3 GARBAGE FENCE DETAILS**  
A1.0 N.T.S.



Width : 3.15m  
Radius : 12.8m  
Steering Angle : 40.0  
Lock to Lock Time : 6.0s



**4 BICYCLE RACK DETAILS**  
A1.0 N.T.S.

**PRINCE GEORGE SENIORS APARTMENTS**

Project Address:  
1177 FOOTHILLS BLVD  
PRINCE GEORGE, B.C.

Issued:  
01 - 04/29/2023 - REISSUED FOR DP

Project No. Version:  
EG1552 V5

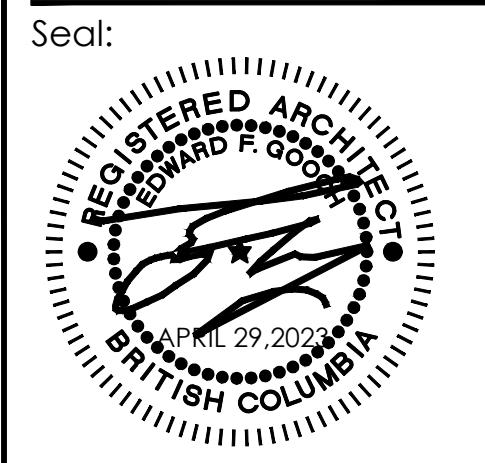
Date  
04/29/2023

Drawing Title  
OVERALL SITE PLAN

Drawing No.  
A1.0



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 Architect  
 9834-105 Street  
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Client:

**PRINCE GEORGE SENIORS APARTMENTS**  
 Project Address:  
 1177 Foothills Blvd  
 Prince George, B.C.

Issued:  
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Project No. Version:  
 EG1552 V5  
 Date  
 04/29/2023  
 Drawing Title  
 FIRE TRUCK ACCESS PLAN

Drawing No.

**A1.1**

**ADDRESS**  
 1177 FOOTHILLS BLVD.  
 PRINCE GEORGE, B.C.

**LEGAL DESCRIPTION**  
 LOT - 104 DISTRICT LOTS 2507 AND 2609 CARIBOO DISTRICT PLAN - 22809

**SITE AREA**  
 TOTAL SITE AREA : 108,528 S.F. = 2.491 ACRES = 1.008ha

**ZONING RM6**

**PERMITTED DENSITY 140X1.008ha = 141**

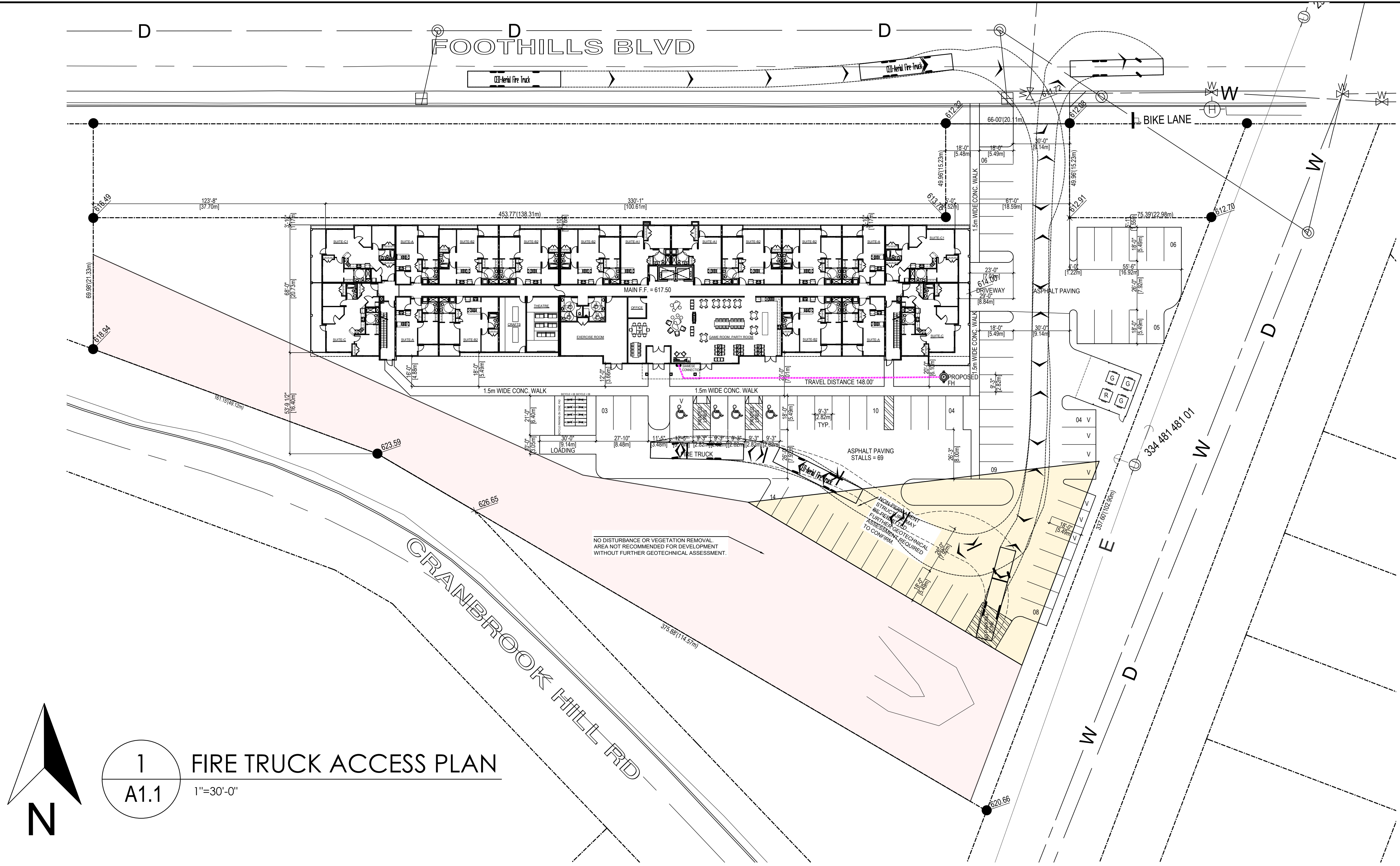
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**DP NUMBER =** -----

**SUITE COUNT**

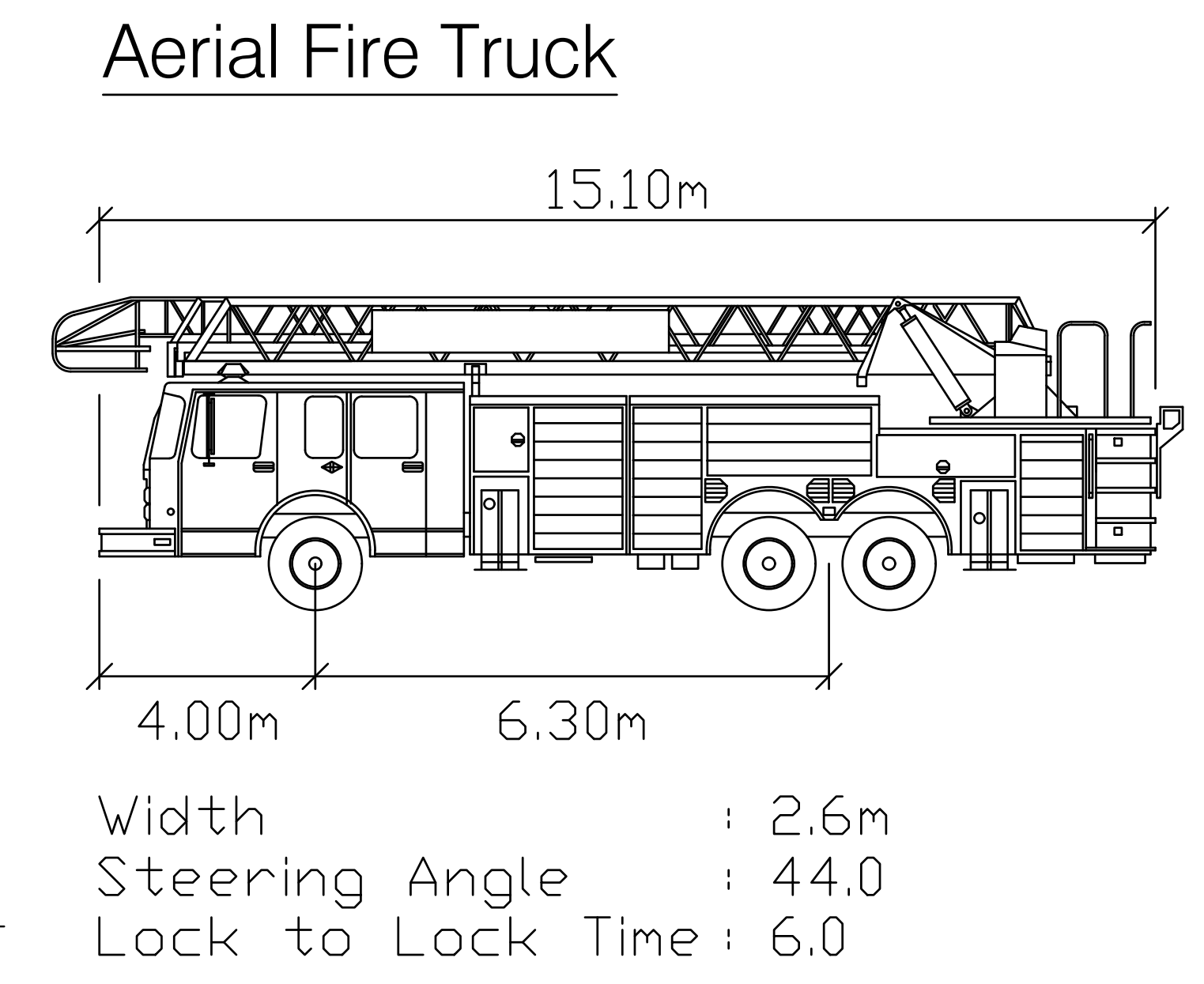
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**TOTAL = 125**

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**1 FIRE TRUCK ACCESS PLAN**  
 A1.1 1"=30'-0"

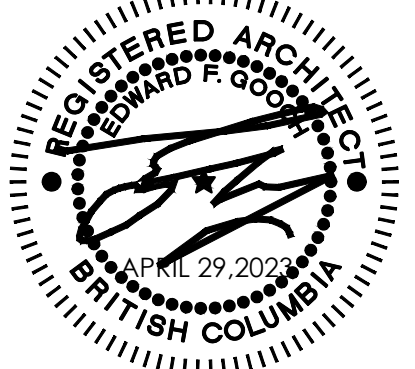
**2 FIRE TRUCK DETAILS**  
 A1.1 N.T.S.





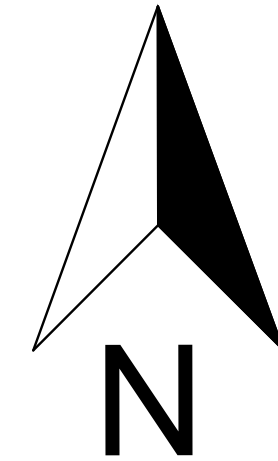
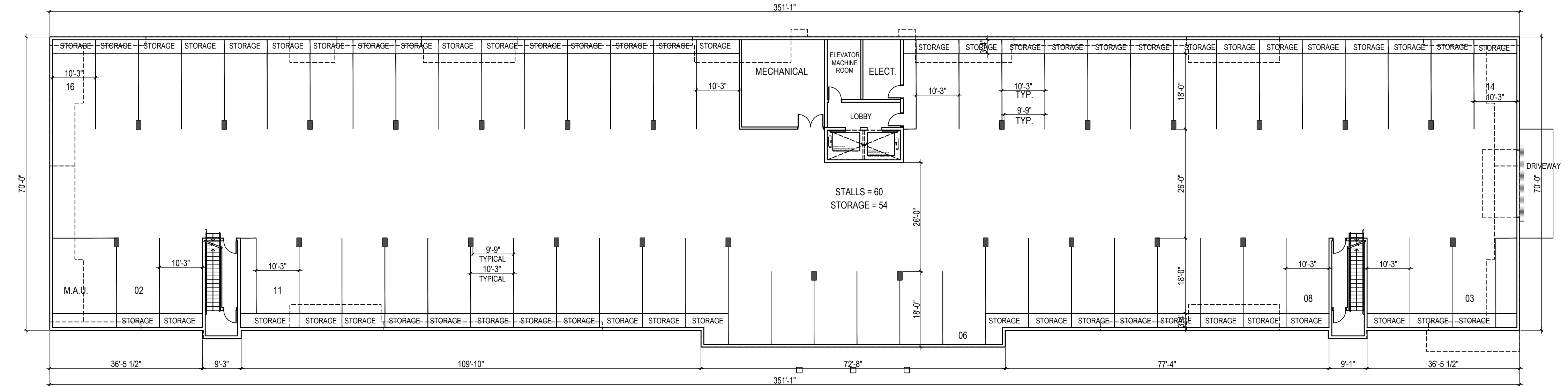
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Seal:



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Client:



1 PARKADE PLAN  
 A2.0 1/16"=1'-0"

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Date: 04/29/2023

Drawing Title: OVERALL PARKADE PLAN

Drawing No. A2.0

Exhibit "A"  
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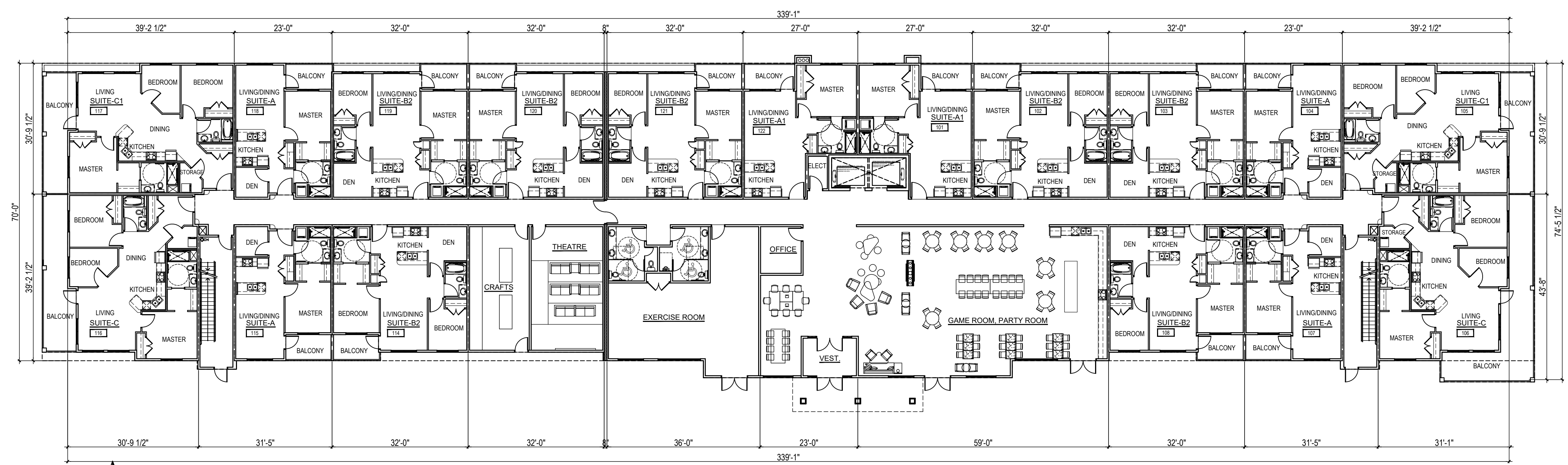
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 Drawing Title: OVERALL FLOOR PLAN

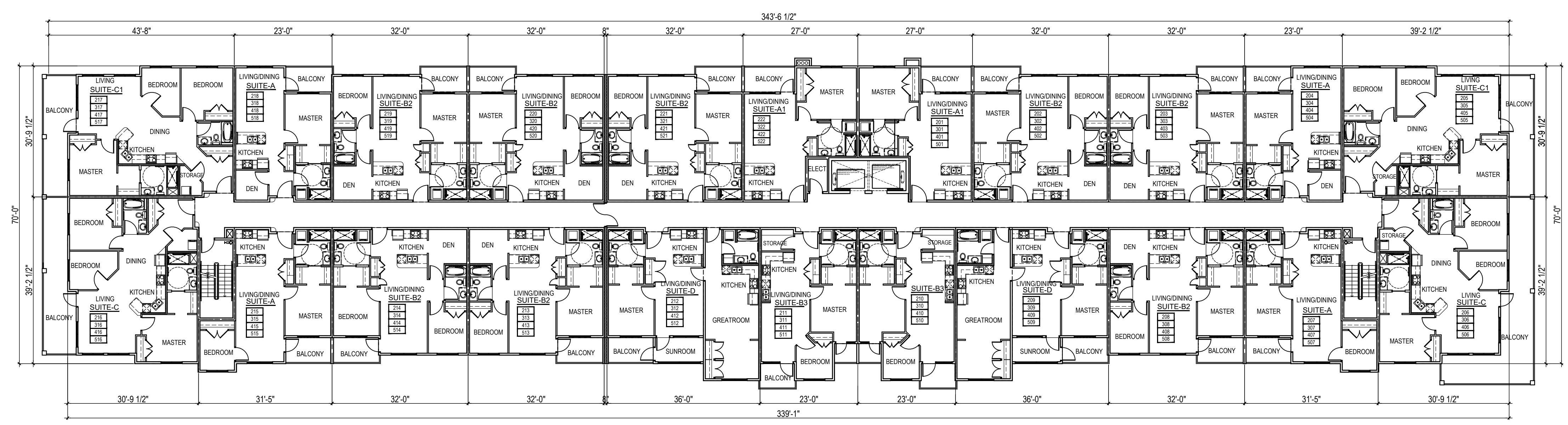
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**A3.0**

Exhibit "A"  
 Application: Development Permit w/Variance  
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**1 MAIN FLOOR PLAN**  
 A3.0 1/16" = 1'-0"

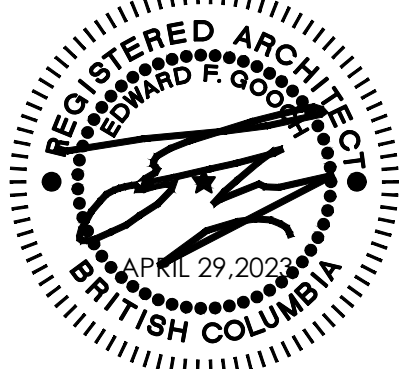


**2 SECOND TO FIFTH FLOOR PLAN**  
 A3.0 1/16" = 1'-0"



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Seal:



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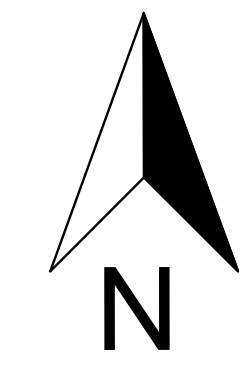
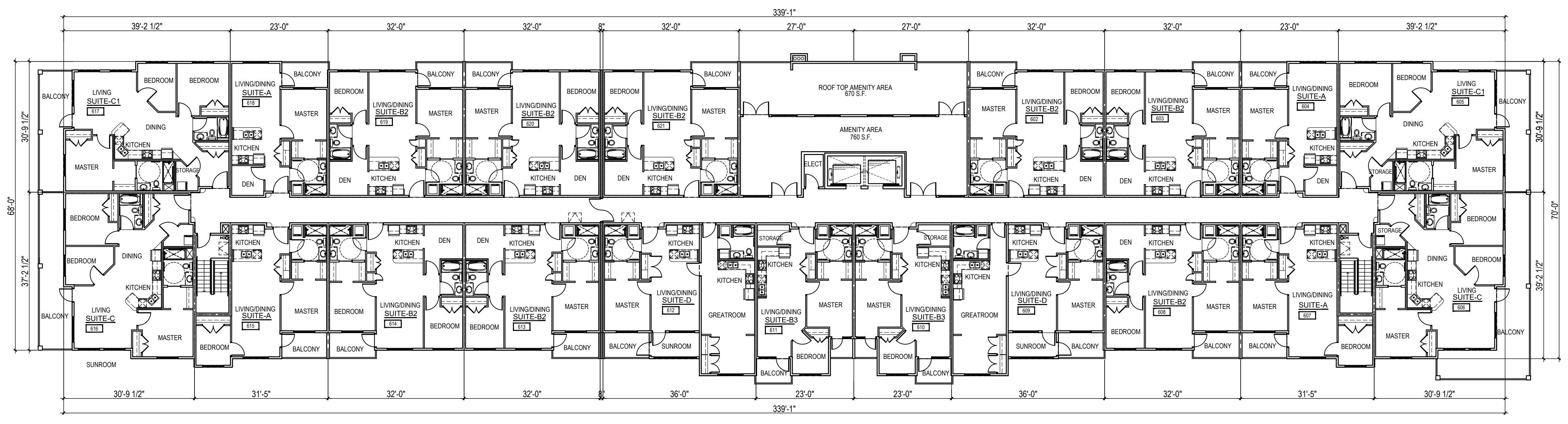
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EG1552	V5
Date	
04/29/2023	
Drawing Title	
OVERALL SIXTH FLOOR PLAN	

Drawing No.

**A3.1**



**1** SIXTH FLOOR PLAN  
 A3.1 1/16" = 1'-0"

Exhibit "A"  
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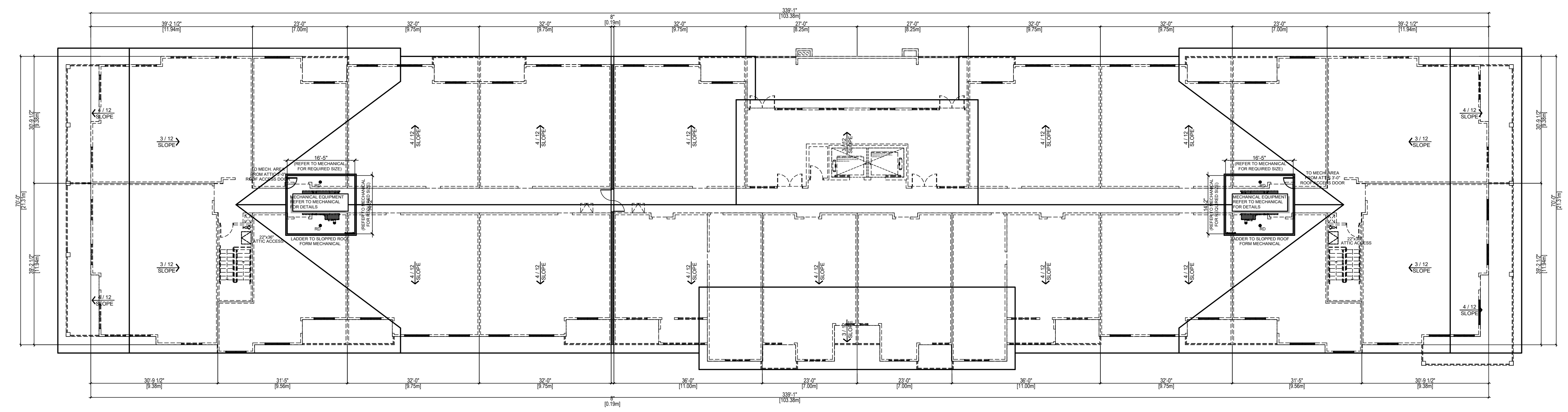
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Date  
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Drawing Title  
OVERALL ROOF PLAN

Drawing No.  
**A5.0**

<b>ROOF LEGEND</b>	
<b>TYPICAL ROOF - (SPRINKLER)</b> FIRE RATING : 1HR - NBC(AE) 2019 (D-2.3.12.) - ASPHALT SHINGLES	
- FELT - EXTERIOR GRADE SHEATHING (AS PER STRUCTURAL) - PRE-ENGINEERED WOOD TRUSSES - R40 BATT INSULATION - 6MIL POLY VAPOUR BARRIER - 5/8" TYPE X GYPSUM CEILING BOARD - 5/8" TYPE X GYPSUM CEILING BOARD (REFER TO STRUCTURAL / TRUSS SUPPLIER FOR DETAILS)	
<b>ENTRY CANOPY - LOW SLOPED</b> - DURADEK COMMERCIAL GRADE VINYL DECKING (EXTEND 12" MIN UP WALL) - EXTERIOR GRADE SHEATHING (AS PER STRUCTURAL) - SLOPED WOOD JOISTS (AS PER STRUCTURAL) (OVERALL DEPTH TO MATCH ELEVATIONS) - PREFINISHED VENTED ALUMINUM SOFFIT (REFER TO STRUCTURAL FOR DETAILS)	
<b>NOTES</b>	
ROOF SLOPES: ① MAIN ROOF SLOPE = 4/12 HIPS AND GABLE ROOF SLOPES = 12/12 UNLESS NOTED OTHERWISE	
② TYPICAL OVERHANG TO BE 20" UNLESS NOTED OTHERWISE.	
③ SPRINKLERED TO NFPA 13	
④ PROVIDE 4-2x10 PLANK WALK-WAY IN ATTIC. MOUNTED ABOVE INSULATION CONTINUOUS FROM ATTIC ACCESS TO ATTIC ACCESS	
⑤ 1 HOUR FIRE RATE ATTIC HATCHES: 2 LAYERS 5/8" TYPE X GYPSUM WALLBOARD 1HR NBC 2019 D2.3.12 ON 3/4" PLYWOOD SECURE IN PLACE WITH SCREWS OR LATCHES.	
⑥ SADDLES: CONSTRUCT SADDLES MINIMUM SLOPE 1/12 TO DRAIN ROOF AREAS WITH LEVEL VALLEYS. FLASH SADDLES UNDER SHINGLES WITH ICE AND WATERSHIELD MEMBRANE. EXTEND 24" VERTICALLY MINIMUM ON ALL SURFACES VALLEYS AND JUNCTIONS WITH WALLS ABOVE ROOF	
⑦ TRUSS HEEL TO PROVIDE FOR SOFFIT LEVEL WITH TOP OF WALL PLATE PROVIDE VENTED SOFFIT UNLESS OTHERWISE NOTED USE ATTIC INSULATION STOPS FOR FREE AIR FLOW CUT SHEATHING OFF MAIN ROOF UNDER GABLES	
<b>LEGEND</b>	
	22x36 ATTIC HATCH FOR DETAILS
	RAIN WATER LEADER



**1 ROOF PLAN**  
A5.0  
1/16" = 1'-0"

Exhibit "A"  
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**1 SOUTH ELEVATION**  
A4.0 1/16" = 1'-0"



**2 EAST ELEVATION**  
A4.0 1/16" = 1'-0"

**WINDOW TYPES ( SCALE 3/16"=1'-0"**

**( ALL WINDOWS ARE CONSIDERED TO BE GUARDS )**

EXTERIOR FINISH SCHEDULE	
S1	ADEX CB SYSTEM EIFS - COLOUR-1
S2	ADEX CB SYSTEM EIFS - COLOUR-2
S3	ADEX CB SYSTEM EIFS - COLOUR-3
S4	ADEX CB SYSTEM EIFS - COLOUR-4
S5	ELDORADO STACKED STONE-COLOUR DAYBREAK

METAL TRIM, SOFFIT & RAINGOODS - BLACK PREFINISHED ALUMINUM  
 RAILINGS - BLACK ALUMINUM RAILING WITH GLASS INSERTS  
 WINDOWS - BLACK VINYL, DOUBLE INSULATED GLAZING  
 METAL EXIT DOORS- PAINT MATCH WALL COLOR  
 SEE A- FOR FULL DOOR SCHEDULE AND DETAILS

- ADEX - W-010-0E
- ADEX - W-199-3E
- ADEX - W-189-6E
- EL DARADO STACKED STONE - DARK RUNDLE
- BLACK - WINDOWS / BALCONY RAILS
- BLACK - FASCIA



**3 NORTH ELEVATION**  
A4.0 1/16" = 1'-0"



**4 WEST ELEVATION**  
A4.0 1/16" = 1'-0"

Exhibit "A"  
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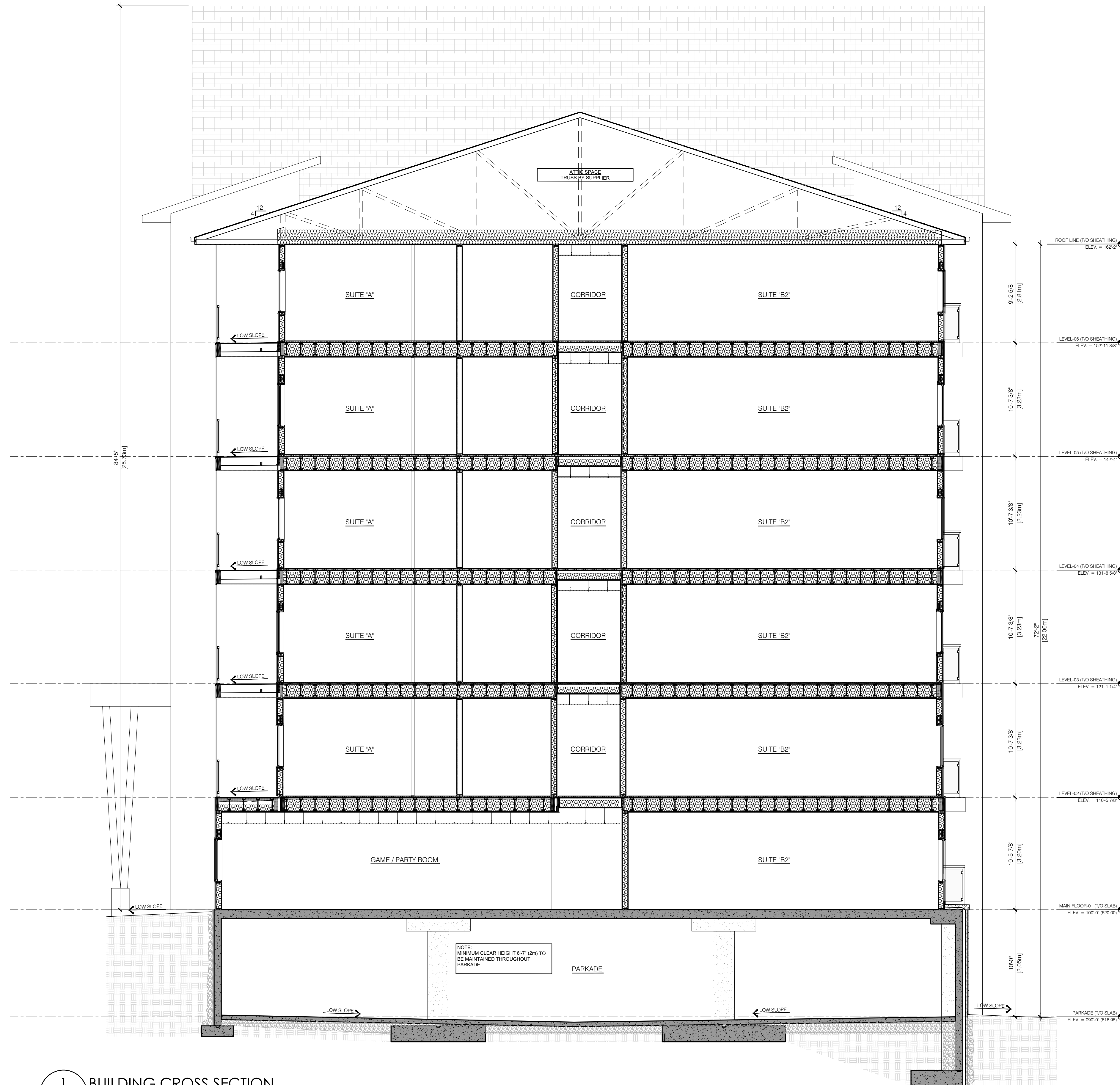
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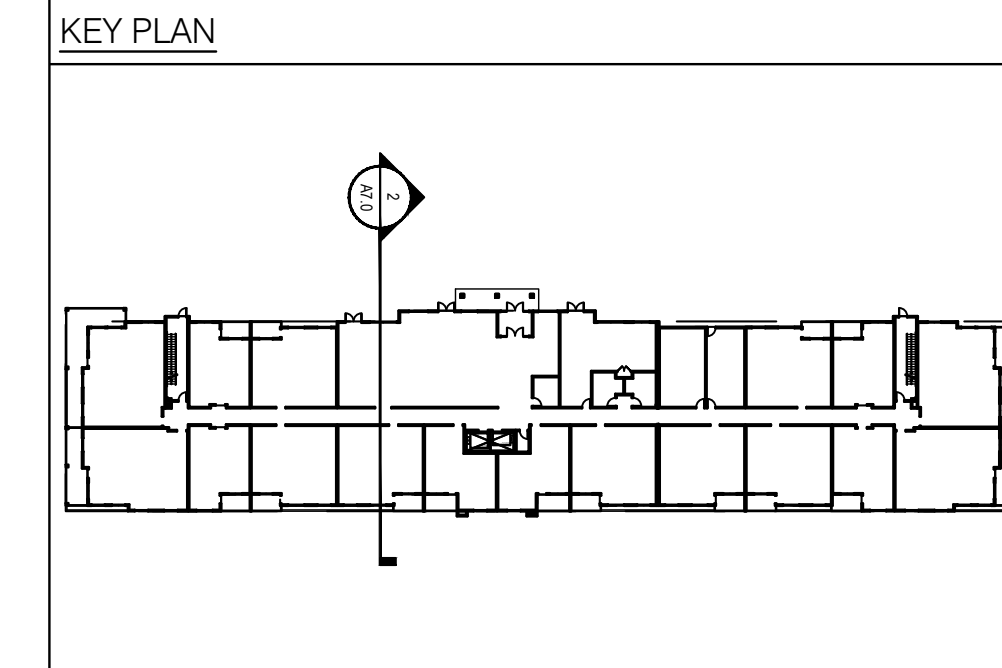
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 12/16/2021

Drawing Title:  
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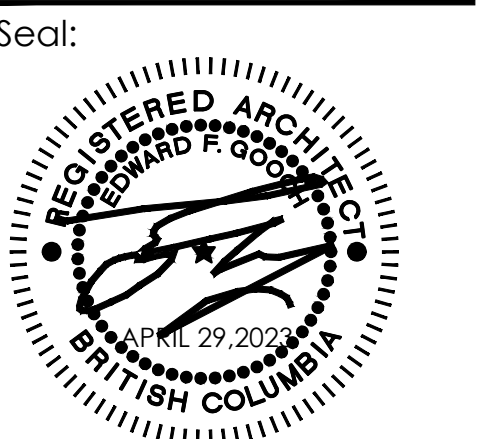
Drawing No.  
**A4.0**



1 BUILDING CROSS SECTION  
 A6.0 3/16" = 1'-0"



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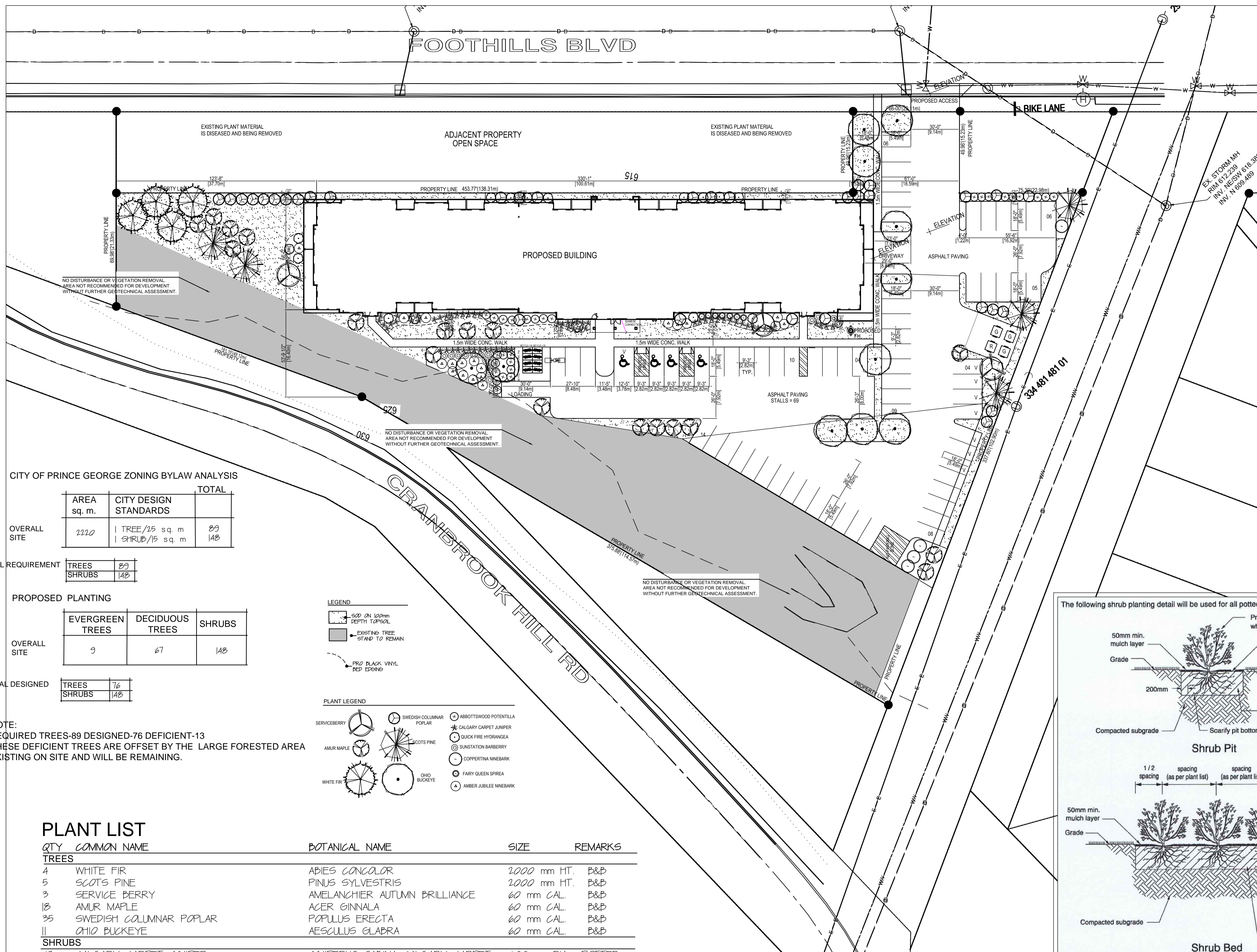
Project No. EG1552  
 Version: V5  
 Date: 04/29/2023  
 Drawing Title: BUILDING SECTIONS

Drawing No.

A6.0

Exhibit "A"  
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- ### UTILITY SETBACKS
- 1.0m FROM POWER LINES
  - 3.5m FROM ALL POWER HARDWARE
  - 1.8m FROM WATER MAINS, WATER VALVES AND SERVICES
  - 2.0m FROM GAS MAINS AND MANHOLES
  - 1.8m FROM SEWER SERVICES
  - 1.5m FROM GAS (NO TREES WITHIN EASEMENT)
  - 7.5m FROM STREET CORNERS
  - 3.5m FROM FIRE HYDRANTS
  - 1.5m FROM DRIVEWAYS
  - 1.0m FROM SIDEWALKS OR AS PER APPROVED ENG. CROSS SECTIONS
  - 5.0m FROM TRANSIT ZONES
  - 3.0m FROM PRIVATE PROPERTY BOUNDARY
  - 1.25m FROM COLLECTOR ROAD CURB FACE
  - 1.25m FROM LOCAL ROAD CURB FACE
  - 2.0m FROM ARTERIAL ROAD CURB FACE
  - 3.5m FROM YIELD AND STOP SIGNS
  - 3.5m FROM BUS STOP SIGNS
  - 2.0m FROM ALL OTHER SIGNS
  - 1.0m FROM OTHER UNDERGROUND UTILITIES
  - 3.5m FROM TELUS PEDESTALS
  - 2.0m FROM TELUS DUCT STRUCTURE
  - 1.0m FROM TELUS CABLE FACILITIES

- ### PLANTING NOTES:
1. CONTRACTOR TO CALL FIRST CALL AT 1-800-242-3447 TO HAVE EXISTING UTILITIES LOCATED PRIOR TO START OF ANY CONSTRUCTION.
  2. CONTRACTOR TO ENSURE THAT ALL NECESSARY ARRANGEMENTS ARE MADE WITH THE PIPELINE COMPANIES CONCERNING THE MOVEMENT OF MATERIALS AND EQUIPMENT NEAR ANY PIPELINE RIGHT OF WAYS/
  3. CONTRACTOR IS RESPONSIBLE FOR THE HOARDING OF ALL TREE WITHIN OR ADJACENT TO CONSTRUCTION AREAS.
  4. CONTRACTOR IS RESPONSIBLE FOR HAULING OF ALL EXCESS MATERIALS OFF THE SITE.
  5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO LANDSCAPED AREAS AND MUST MAKE ALL NECESSARY RESTORATIONS AND REPAIRS.
  6. CONTRACTOR TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
  7. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION STARTING.
  8. ALL MEASUREMENTS IN MILLIMETERS UNLESS OTHERWISE NOTED.
  9. ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK AND SHALL MEET OR EXCEED THE SPECS OF THE CDN NURSERY TRADES ASSOC. FOR SIZE, HT, SPREAD, GRADING QUALITY AND METHOD OF CULTIVATION.
  10. NO SUBSTITUTIONS OF MATERIALS, PRODUCTS OR QUANTITIES WITHOUT PRIOR CONSENT OF LANDSCAPE ARCHITECT.
  11. AREAS TO RECEIVE SOD TO HAVE TOPSOIL TO A DEPTH OF 100mm, AREAS FOR PLANTING BEDS TO A DEPTH OF 300mm.
  12. ALL PLANT MATERIAL AND WORKMANSHIP TO CONFORM TO THE REQUIREMENTS OF THE CITY OF PRINCE GEORGE BC, DESIGN AND CONSTRUCTION STANDARDS IN ITS MOST RECENT EDITION.
  13. EDGER TO BE PRO PVC EDGER COLOR: BLACK.
  14. 75mm SHREDDED BARK MULCH IN ALL PLANTING BEDS.
  15. ALL PLANT MATERIAL INSTALLATION WILL CONFORM TO MOST RECENT BRITISH COLUMBIA LANDSCAPE STANDARDS.
  16. NATURAL VEGETATION TO BE RETAINED MUST BE PROTECTED TO THE FURTHEST EXTENT OF THE DRIP LINE AND THE FINAL GRADING OF THE SITE SHOULD NOT ALTER THE EXISTING GRADE WITHIN THE ROOT ZONE MORE THAN 200mm.

#### CITY OF PRINCE GEORGE ZONING BYLAW ANALYSIS

AREA	CITY DESIGN STANDARDS	TOTAL
OVERALL SITE	2220 1 TREE/25 sq. m 1 SHRUB/15 sq. m	89 148

#### TOTAL REQUIREMENT

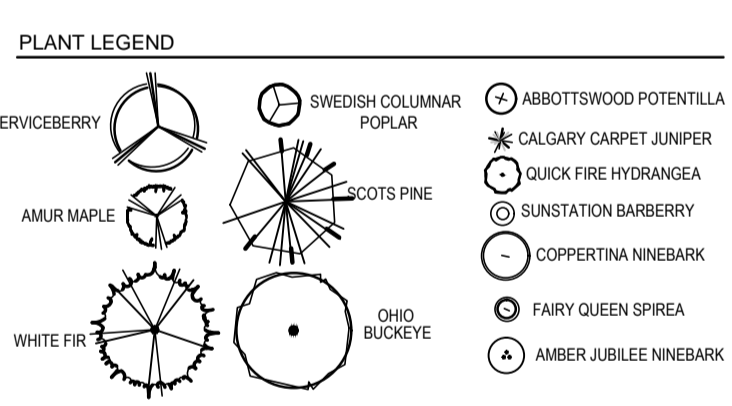
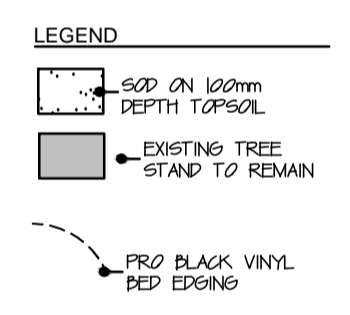
TREES	89
SHRUBS	148

#### PROPOSED PLANTING

EVERGREEN TREES	DECIDUOUS TREES	SHRUBS
9	67	148

#### TOTAL DESIGNED

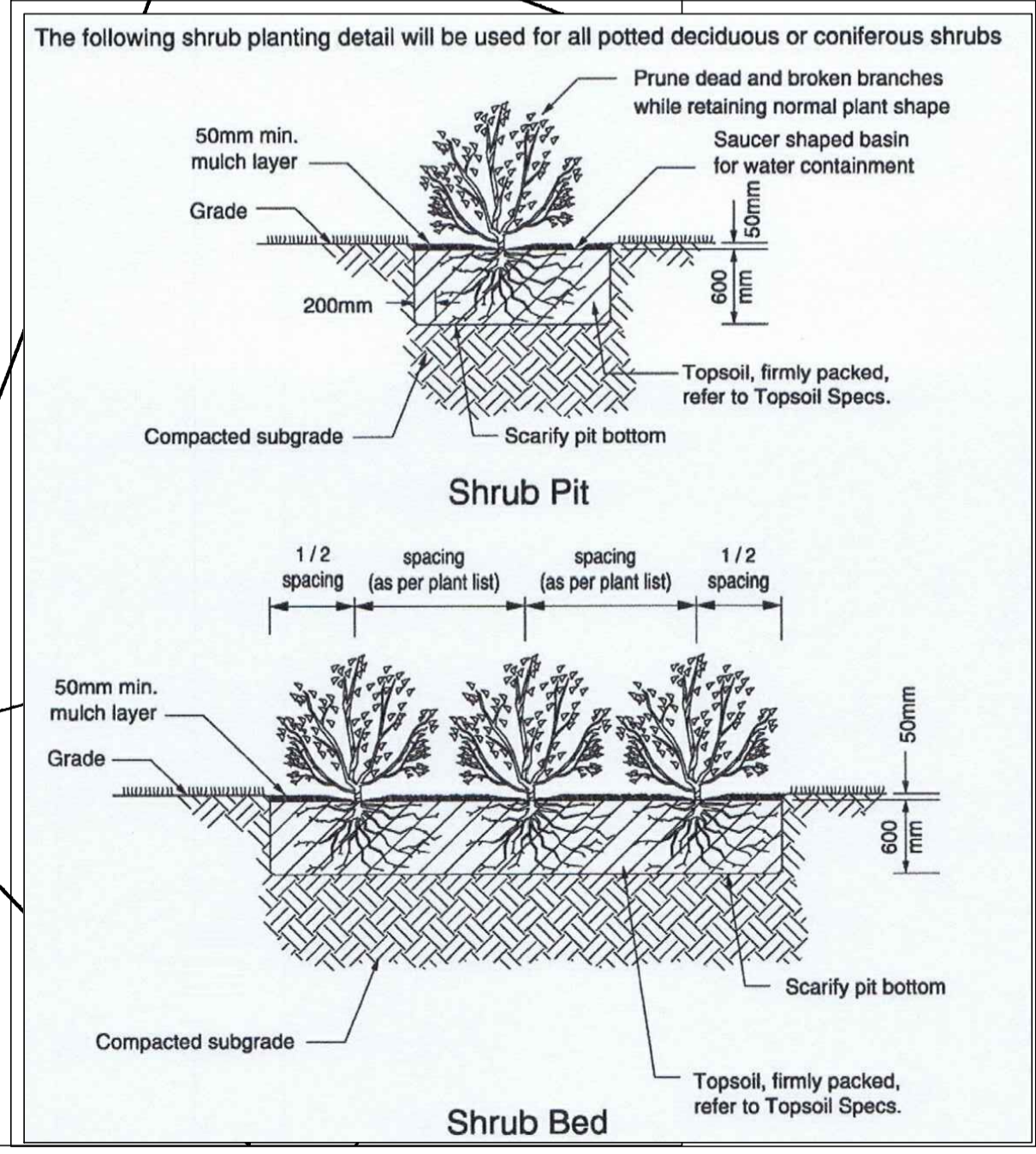
TREES	76
SHRUBS	148



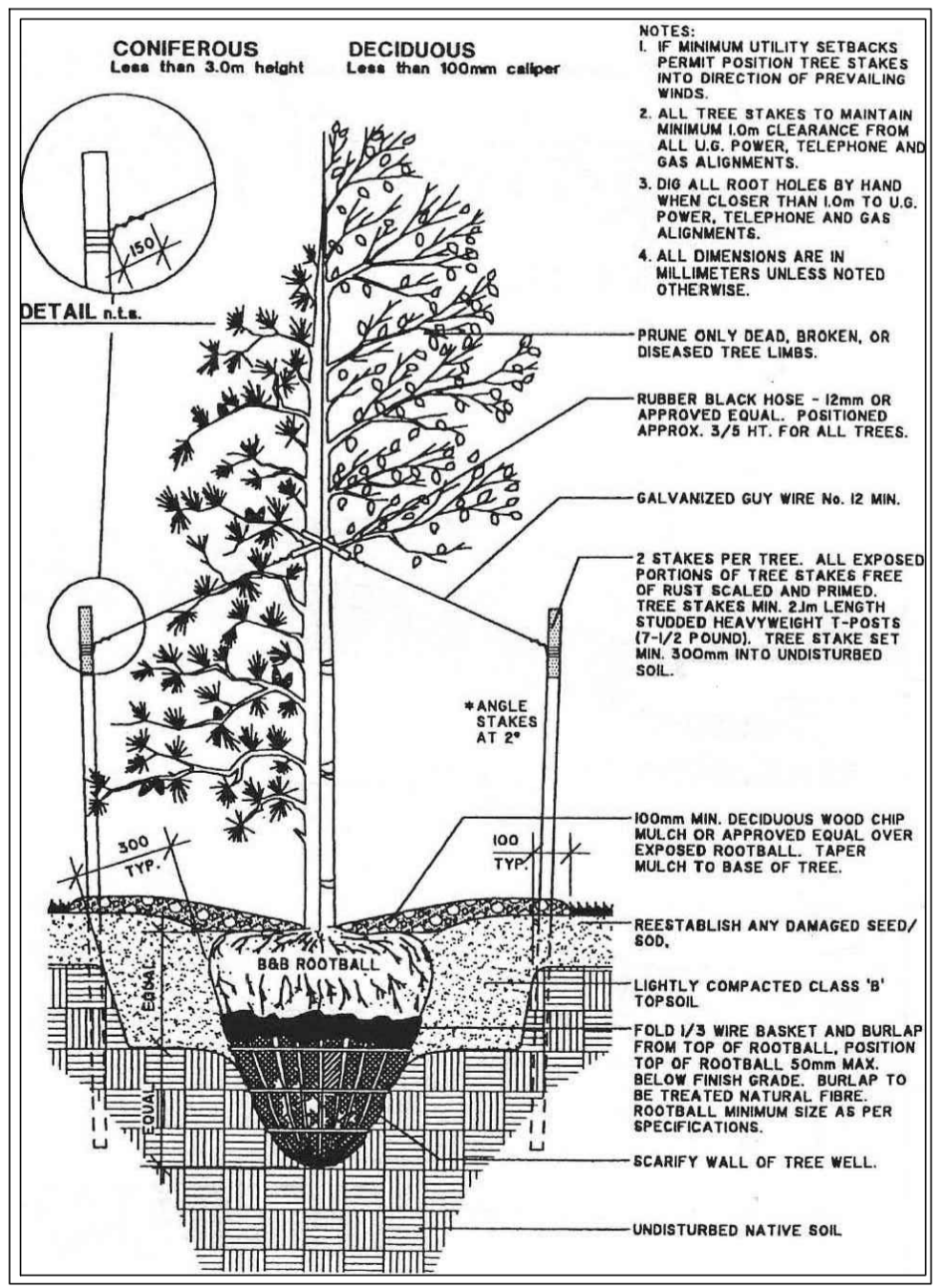
NOTE:  
REQUIRED TREES-89 DESIGNED-76 DEFICIENT-13  
THESE DEFICIENT TREES ARE OFFSET BY THE LARGE FORESTED AREA EXISTING ON SITE AND WILL BE REMAINING.

### PLANT LIST

QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
<b>TREES</b>				
4	WHITE FIR	ABIES CONCOLOR	2000 mm HT.	B&B
5	SCOT'S PINE	PINUS SYLVESTRIS	2000 mm HT.	B&B
3	SERVICE BERRY	AMELANCHIER AUTUMN BRILLIANCE	60 mm CAL.	B&B
18	AMUR MAPLE	ACER GINNALA	60 mm CAL.	B&B
35	SWEDISH COLUMNAR POPLAR	POPULUS ERRECTA	60 mm CAL.	B&B
11	OHIO BUCKEYE	AESCULUS GLABRA	60 mm CAL.	B&B
<b>SHRUBS</b>				
63	CALGARY CARPET JUNIPER	JUNIPERUS SABINA CALGARY CARPET	600 mm DIA	POTTED
19	AMBER JUBILEE NINEBARK	PHYSOCARPUS OPUL. AMBER JUBILEE	600 mm HT	POTTED
15	SUNSATON BARBERRY	BERBERIS THUNBERGII SUNSATON	450 mm HT	POTTED
4	COPPERTINA NINEBARK	PHYSOCARPUS OPUL. COPPERTINA	450 mm HT.	POTTED
13	QUICKFIRE HYDRANGEA	HYDRANGEA PANICULATA QUICK FIRE	450 mm HT.	POTTED
7	FAIRY QUEEN SPIREA	SPIRAEA FAIRY QUEEN	450 mm HT.	POTTED
27	ABBOTTWOOD POTENTILLA	POTENTILLA FRUTICOSA ABBOTTWOOD	450 mm HT.	POTTED



TYPICAL SHRUB BED PLANTING DETAIL



TYPICAL TREE PLANTING DETAIL

Exhibit "A"  
Application: Development Permit w/Variance  
Permit No. DP100807  
Date: May 31, 2023  
Page: 9 of 9

NO.	REVISIONS	BY	DATE	APPRD
4	ADJUSTED BASE PLAN TO ALLOW FOR FORESTED AREA TO REMAIN AND COUNT TOWARD REQUIRED TREES	BEW	01/05/23	BEW
3	REVISED SQUARE METER AREAS FOR CALCULATIONS REVISED AND ADDED TREES AND SHRUBS	BEW	27/02/23	BEW
2	REMOVED SIDEWALK, OVERHEAD CANOPY, SMOKING AND PLAY AREA, BENCH AND PICNIC TABLE REDESIGNED PLANTING	BEW	06/02/23	BEW
1	ADDED NEW BASE PLAN REVISED AREA CALCULATIONS REDESIGNED PLANTING	BEW	01/01/23	BEW

NO.	REVISIONS	BY	DATE	APPRD
8				
7				
6				
5				

SUB - CONSULTANT
SUB - CONSULTANT

CONSULTANT

CONSULTANT

CLIENT
DRAWING SCALE: 1:400 Metric
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DATE	MAY 1, 2023
DATE	MAY 1, 2023
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DATE	MAY 1, 2023

PROJECT

**PRINCE GEORGE SENIORS**

1177 FOOTHILLS BLVD.  
PRINCE GEORGE BC

DRAWING

**LANDSCAPE PLAN**

DPL-1

NORTH